

Cloudpermit application number
CA-3539015-P-2025-31

A13-2025
Received: 05-08-2025
Completed: 05-16-2025

Pre-consultation information

By-law 199-2007 requires pre-submission consultation with a staff Planner to determine what supporting information is required, to verify payable fees, and to review the process. This application is incomplete unless you have a valid pre submission letter.

Pre-consultation is not completed. Application number: CA-3539015-P-2025-31

Applicant, Property owner

Last name Simmons	First name Craig	Corporation or partnership
Street address [REDACTED]	Unit number	Lot / Con.
Municipality [REDACTED]	Province [REDACTED]	Postal code [REDACTED]
Other phone	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

Subject Land Information

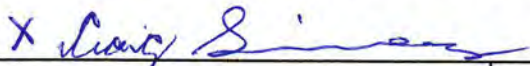
Address	Legal description	Roll number
490 PETERSEN AVE (Primary)	PLAN 33M464 LOT 10	3916000150228280000

Sworn Declaration of Applicant

Complete in the presence of a Commissioner for taking affidavits

I, Craig Simmons, solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant (sign in the presence of a Commissioner for taking affidavits)

X 

Signature of Commissioner for taking affidavits



Municipality of

Strathroy-Caradoc

Day, month, year

May 16, 2025

Place an imprint of your stamp below

**Saja Hazem Alasmar, a Commissioner, etc.,
Province of Ontario, for the Corporation of the
Municipality of Strathroy-Caradoc.
Expires December 27, 2027.**


Applicant**Notice with respect to collection of personal information**

I/We also acknowledge that the information requested on this application is collected under the authority of The Planning Act, R.S.O. 1990, Chapter P13, as amended. The information is required in order to process the application to the Committee of Adjustment. The name and business address of the Applicant and/or authorized Agent is public information. The address of the property, which is the subject of the application, is also public information. Please be advised that any personal information i.e. name and address may become part of a public record in an electronic form, i.e. web site and/or paper format, i.e. agenda or minutes.

Species at risk acknowledgement

Ontario's Endangered Species Act protects endangered and threatened species — animals and plants in decline and at risk of disappearing from the province by restricting activities that may affect these plants, animals or their habitats.

I acknowledged that it is my sole responsibility as the Applicant to comply with the provisions of the Endangered Species Act, 2007, S. O. c.6. This could require me to register an activity, get a permit or other authorization from the Ministry of Natural Resources and Forestry (MNRF) prior to conducting an activity that could impact an endangered or threatened plant or animal or its habitat. I further acknowledge that any Planning Act, R.S.O. 1990, c.P.13 approval given by the City does not constitute an approval under the Endangered Species Act, nor does it absolve me from seeking the necessary authorization, approvals or permits from the MNRF prior to conducting any activity that may affect an endangered or threatened plant or animal or its habitat.

 Digitally signed on 2025-05-13, 3:56:05 p.m. EDT by Craig Simmons.

Property owner

I, Craig Simmons, do hereby declare that the information contained in this application, the attached schedules and forms, the attached plans and specifications, and other attached documentation is true to the best of my knowledge. If the Property owner is a corporation or partnership, I have the authority to bind the corporation or partnership. By signing off, I understand that it constitutes a legal signature confirming that I acknowledge and agree to the above declaration.


Notice with respect to collection of personal information

I/We also acknowledge that the information requested on this application is collected under the authority of The Planning Act, R.S.O. 1990, Chapter P13, as amended. The information is required in order to process the application to the Committee of Adjustment. The name and business address of the Applicant and/or authorized Agent is public information. The address of the property, which is the subject of the application, is also public information. Please be advised that any personal information i.e. name and address may become part of a public record in an electronic form, i.e. web site and/or paper format, i.e. agenda or minutes.

Permission to enter upon the subject land and premises

I hereby authorize the members of the Committee of Adjustment and/or members of the staff of the City to enter upon the subject lands and premises for the purpose of evaluating the merits of this application. This is their authority for doing so.

MUNICIPAL COSTS - Please be advised that the Municipality may incur expenses associated with obtaining outside legal/engineering/ planning review/ assistance from its consultants, relating to your application. Any expenses that the Municipality incurs in this regard will be forwarded to you, the owner, for payment. I, Firstname Lastname, (the owner) acknowledge that I will pay all legal/ engineering/ planning expenses the Municipality incurs as outlined above.

 Digitally signed on 2025-05-13, 3:56:09 p.m. EDT by Craig Simmons.

Agent Authorization

Is there an authorized agent(s) acting on behalf of the property owner(s)?

☐ Yes ☒ No

1. Applicant information**Registered owner(s) of the subject land**

Name	Address	Town
Craig Simmons	[REDACTED]	[REDACTED]

Postal Code

[REDACTED]

Phone

[REDACTED]

Cell

[REDACTED]

Fax

Email

[REDACTED]

Is the applicant different from the property owner?

☐ Yes ☒ No

Authorized agent authorized by the owner to file the application, if applicable

Is there an Authorized Agent?							
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No							

2. Current Official Plan land use designation

Current Official Plan land use designation:

Low Density Residential

3. Current Zoning

Current Zoning:

R1

4. Nature and extent of the relief from the Zoning By-law (what is being varied)

Describe the nature and extent of the relief from the Zoning By-law (what is being varied):

To build an addition (secondary unit) to 1.35m from the rear property line where 8.0m is required as per Zoning Bylaw Section 5 Low Density Residential (R1) - , 5.3 Lot Provisions.

5. Reasons why the proposed use cannot comply with the provisions of the Zoning By-law

Provide reasons why the proposed use cannot comply with the provisions of the Zoning By law:

Looking to add an in-law suite to the existing dwelling for our parents. For access to the unit, and to work with the existing dwelling, the south west corner is the most appropriate placement for the addition.

6. Description of subject land

For fields that don't apply, input N/A

Geographic Township: Strathroy Caradoc	Registered Plan: N/A	Reference Plan: N/A	Lots(s)/Concession: N/A	Lot(s): N/A	911 Address 490 Petersen Avenue
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7. Dimensions of subject land (in metric units)Frontage:
14.274Depth:
53.103Area:
932.96**8. Access to subject land (only those that apply to this property)**

Please input the street name(s). For non applicable fields, please input N/A

Provincial Highway:
N/ACounty Road:
N/AMunicipal Road
Petersen AvenueOther Public Road:
N/ARight of Way:
N/AWater:
N/A**9. Existing Uses on the Subject**Describe all existing uses of the subject land
Single Family Dwelling**10. are any existing buildings or structures on the subject lands?**

Are any existing buildings or structures on the subject lands?

☒ Yes ☐ No***If yes, please complete the following table indicating the types of buildings and structures, including date of construction, that currently exist on the lot and the specified measurements (in metric units):**

	Structure 1	Structure 2	Structure 3	Structure 4
Type of Building/Structure	Dwelling			
Year of Construction	2000+/-			
Distance from front lot line (m)	8			
Distance from rear lot line (m)	12			
Distance from West lot line (m)	5			
Distance from the East lot line (m)	5			
Height (m)	8			
Floor Area	158.0 m ²			

11. Describe all proposed uses of the subject landDescribe all proposed uses of the subject land
Single Family Dwelling with attached in-law suite

12. Buildings or structures proposed to be built on the subject land

Please indicate whether any buildings or structures are proposed to be built on the subject land?

☒ Yes ☐ No

***If yes, please indicate the type of buildings or structures proposed on the subject land and the specified measurements (in metric units):**

	Proposed Structure 1	Proposed Structure 2	Proposed Structure 3	Proposed Structure 4
Type of Building Structure	Dwelling			
Proposed Year of Construction	2025			
Distance from the front lot line (m)	26			
Distance from the rear lot line (m)	1			
Distance from West lot line (m)	2			
Distance from East lot line (m)	15			
Height (m)	5			
Floor Area	46.45 m ²			

13. Date when the subject land was acquired by the current owner

Please indicate the date when the subject land was acquired by the current owner?

2020

14. Length of time that the existing uses of the subject land have continued?

Please indicate the length of time that the existing uses of the subject land have continued?

Unknown

15. Water Supply

Water supply is provided to the subject land via?

☒ publicly owned and operated piped water system ☐ lake or other water body ☐ privately owned well or communal well

other (please specify)

16. Sewage

Sewage disposal is provided to the subject land via?

☒ publicly owned and operated sanitary sewage system ☐ privately owned individual or communal septic system ☐ privy

Other (please specify)

17. Storm Drainage

Storm drainage is provided to the subject land via?

☒ storm sewers ☐ swales ☐ municipal
drainage
ditches

other (please specify)

18. Is the subject land the subject of

An application for approval of a Plan of Subdivision under the Planning Act?

☐ Yes ☒ No

If yes, provide the following

File No.

Status

An application for an application for Consent under the Planning Act?

☐ Yes ☒ No

If yes, provide the following

File No.

Status

19. Previous subject of an application for Minor Variance

Please indicate whether the subject land has previously been the subject of an application for Minor Variance?

☐ Yes ☒ No

20. Accompanying documentation

Please confirm that the attached concept plan includes the following:

1) The boundaries and dimensions of the subject land

☒ Yes ☐ N/A

2) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings and structures from the front yard lot line, rear yard lot line and the side yard lot lines

☒ Yes ☐ N/A

3) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application (for example buildings, railways, roads, watercourses, drainage ditches, rivers or stream banks, wetlands, wooded areas, wells and septic tanks)

☒ Yes ☐ N/A

4) The current uses on land that is adjacent to the subject land

☒ Yes ☐ N/A

5) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way

☒ Yes ☐ No

6) If access to the subject land will be by water only, the location of the parking and docking facilities to be used

☒ Yes ☐ No

7) The location and nature of any easements affecting the subject land

☒ Yes ☐ N/A

DISCALIMER

ONCE YOU'VE COMPLETED THIS FORM, YOU CAN RETURN TO THE WORKSPACE BY CLICKING THE BUTTON AT THE TOP OF THIS PAGE OR YOUR BROWSER'S BACK BUTTON. YOUR CHANGES HAVE BEEN SAVED AUTOMATICALLY.

THESE DRAWINGS ARE PROPERTY OF BAYVIEW DESIGN GROUP AND ARE TO BE USED ONLY FOR THE ADDRESS SHOWN IN THE TITLE BLOCK. ANY OTHER USE OF THESE DRAWINGS IS PROHIBITED. THESE DRAWINGS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT PERMISSION OF BAYVIEW DESIGN GROUP.

GENERAL NOTES

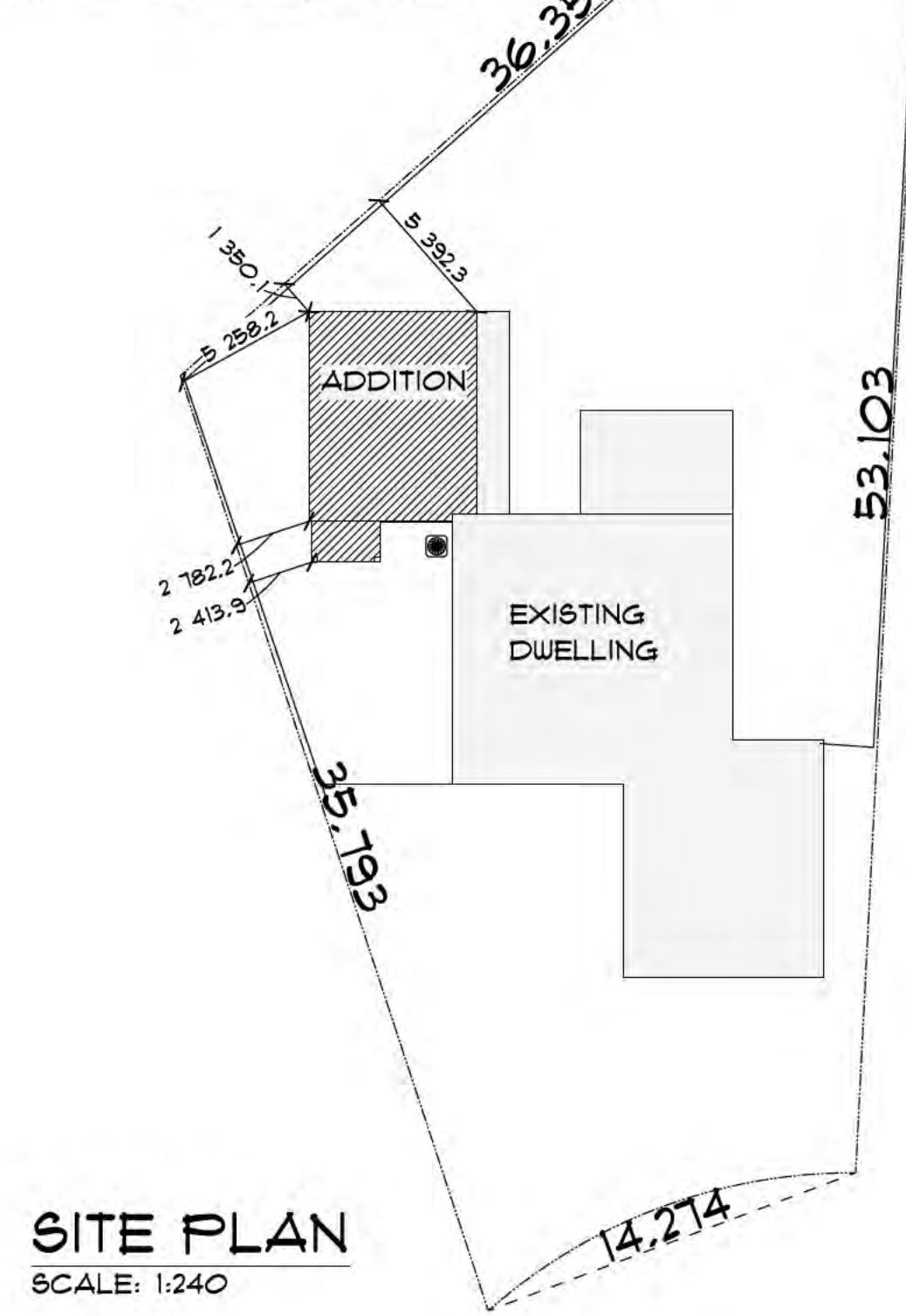
** BAYVIEW DESIGN GROUP ASSUMES NO LIABILITY FOR WORK COMPLETED WHERE A BUILDING PERMIT IS REQUIRED BUT HASN'T BEEN OBTAINED.

- DO NOT SCALE DRAWINGS.
- THESE PLANS REMAIN PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE DRAWINGS ARE TO BE USED FOR THE PROPERTY INDICATED IN THE TITLE BLOCK ONLY. OTHER USE IS PROHIBITED.
- ALL WORK TO BE UNDERTAKEN IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, 2012 EDITION. ALL CODE REFERENCES REFER TO OBC 2012 DIVISION 9.
- CONTRACTOR TO VERIFY ALL SPECIFICATIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR REPORTING DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION.
- DESIGNER AND/OR ENGINEER SHALL BE NOTIFIED PRIOR TO POURING CONCRETE FOR VERIFICATION OF REBAR.
- ALL WINDOW OPENINGS THAT EXCEED 48" WIDE SHALL HAVE 2-2X6 PLATES AT THE BOTTOM OF OPENING (TYPICAL LINE).
- ADJUSTMENTS OR CHANGES MADE TO THESE DRAWINGS, FLOOR OR TRUSS LAYOUT, AND POINT LOADS SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION. BAYVIEW DESIGN GROUP SHALL BE NOTIFIED FOR FURTHER REVIEW AND APPROVAL.
- ALL SHOP DRAWINGS AND ANY PRECAST UNITS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION.
- REFER TO TRUSS DRAWINGS FOR CONNECTION DETAILS.
- INSULATION VALUES TO COMPLY WITH SB-12, COMPLIANCE PACKAGE A1.
- WHERE LOAD BEARING WALLS ARE NOT FINISHED WITH GYPSUM BOARD OR A SUITABLE INTERIOR FINISH, BLOCKING SHALL BE FASTENED TO THE STUDS @ 4" O.C. AS PER OBC 9.2.3.2.3 (2) (3).
- 5/8" SUBFLOOR SHEATHING TO BE GLUED AND SCREWED TO PRE-ENGINEERED JOISTS ON ALL LEVELS.
- TYPICAL NON-BEARING PARTITION SHALL BE CONSTRUCTED OF 2X4 STUDS @ 16" O.C. W/ DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
- REFER TO SHEETS A3 OR A4 FOR BATHROOM BLOCKING DETAILS, TO COMPLY WITH OBC 9.5.2.3 (TYPICAL TO ALL BATHROOMS).
- ALL RIGID OR SPRAY FOAM INSULATION MUST BE PROTECTED WITH GYPSUM BOARD, TAPED AND MUDDED.
- SPECIFIC LOCATION OF HYDRO METER TO BE VERIFIED BY UTILITY COMPANY.
- ALL ELECTRICAL PANELS AND COMPONENTS TO COMPLY WITH OBC 9.3.4. AND ANY SPECIFIC REQUIREMENTS OF LOCAL UTILITY COMPANY.
- ALL WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED AND WHICH ARE SUPPORTED ON CONCRETE, IN CONTACT WITH GROUND OR FILL SHALL BE SEPARATED FROM THE CONCRETE W/ MIN. 5/8" POLY OR TYPE 'S' ROLL ROOFING AS PER OBC 9.2.3.2.3 (1) & (2).
- ALL WOOD POSTS TO PROVIDED AS INDICATED ON DRAWINGS.
- FLOOR DRAINS TO BE LOCATED IN EVERY MECHANICAL ROOM, LOWER TERRACE, WINDOW WELL & LAUNDRY ROOM.
- WINDOWS AND GLASS DOORS LESS THAN 24" ABOVE FINISHED FLOOR SHALL BE TEMPERED GLASS.
- STRUCTURAL STEEL SHOP DRAWING REVIEW TO BE DONE BY BUILDER. BUILDER TO SITE-CONFIRM DIMENSIONS AS PER SHOP DRAWINGS PREPARED BY STEEL SUPPLIER.
- IF DURING CONSTRUCTION, GROUND WATER OR SOIL CONDITIONS ARE FOUND TO BE NOT OF THE TYPE USED IN THE DESIGN, THE DESIGN SHALL BE REASSESSED BY BAYVIEW DESIGN GROUP.

NOTE:

THIS SITE PLAN WAS GENERATED USING GIS SOFTWARE AND SHALL NOT BE CONSTRUED AS A LEGAL SURVEY. ALL SETBACKS SHALL BE VERIFIED.

LOT AREA = 932.96m²
EXISTING DUELLINGS = 159.69m²
PROPOSED ADDITION = 93.85m² (GR086)
PROPOSED DUELLINGS TOTAL = 213.54m²
PROPOSED TOTAL LOT COVERAGE = 22.3%



SITE PLAN
SCALE: 1:240

GUARD AND HANDRAIL NOTES

- TYPICAL RAILING AND GUARD HEIGHTS
(AS PER OBC 9.8 AND 9.8.7):
- INTERIOR GUARD RAILS AND HANDRAILS SHALL BE MIN. 36" A.F.F.
 - EXTERIOR GUARD RAILS AND HANDRAILS SHALL BE MIN. 36" IF DROP IS LESS THAN 6".
 - EXTERIOR GUARD RAILS AND HANDRAILS SHALL BE MIN. 42" IF DROP IS GREATER THAN 6".

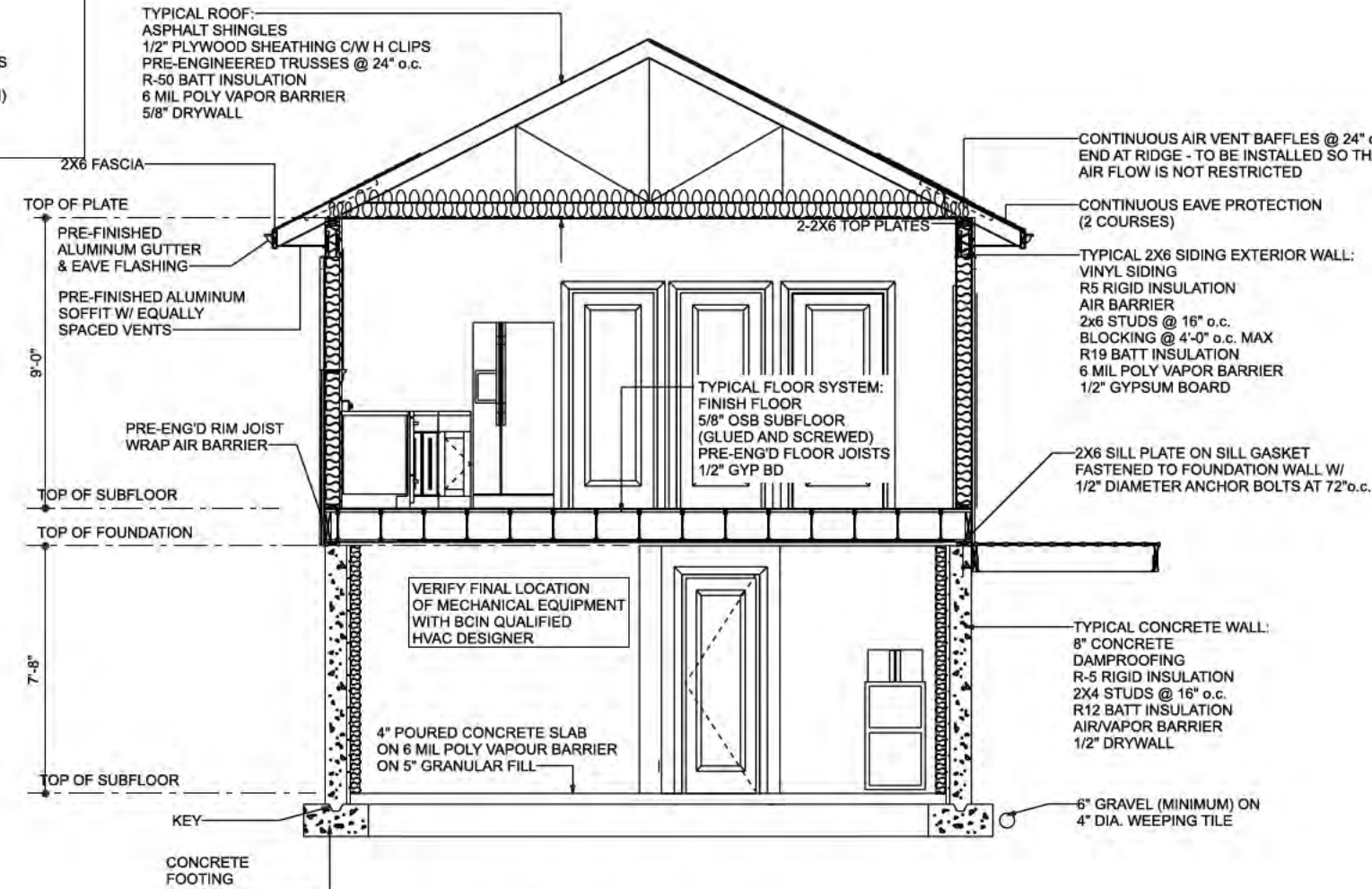
KITCHEN NOTES

- 8.19.1.2.1 HORIZONTAL CLEARANCES
(1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), COMBUSTIBLE WALL FRAMING, FINISHES OR CABINETS WITHIN 450 MM (17 3/4") OF THE AREA WHERE THE RANGE IS TO BE LOCATED SHALL BE PROTECTED ABOVE THE LEVEL OF THE HEATING ELEMENTS BY MATERIAL PROVIDING FIRE RESISTANCE NOT LESS THAN THAT OF THE HEATING ELEMENTS.
(2) COATED TOP SPLASH BOARDS OR BACK PLATES WHICH EXTEND ABOVE THE LEVEL OF THE HEATING ELEMENTS NEED NOT BE PROTECTED AS DESCRIBED IN SENTENCE (1).
(3) EXCEPT FOR CABINETRY DESCRIBED IN ARTICLE 8.19.1.2.2, CABINETRY LOCATED NOT LESS THAN 450 MM (17 3/4") ABOVE THE LEVEL OF THE HEATING ELEMENTS NEED NOT BE PROTECTED AS DESCRIBED IN SENTENCE (1).

- STAIRS
Maximum Rise 7 7/8"
Minimum Run 10"
Maximum Tread 14"
Minimum Head Room 6'4 3/4"
Minimum Width 2'-10"

NOTE:
PRE-ENGINEERED ITEMS (ROOF TRUSSES AND LAYOUT, FLOOR LAYOUT AND BEAMS) TO BE SUBMITTED TO AND APPROVED BY BAYVIEW DESIGN GROUP PRIOR TO PERMIT APPLICATION.
THE SUBMITTED SHOP DRAWINGS MUST BE FOLLOWED THROUGHOUT CONSTRUCTION. ANY CHANGES FROM THESE SHOP DRAWINGS MUST BE APPROVED IN WRITING BY BAYVIEW DESIGN GROUP AND THE MUNICIPALITY PRIOR TO THE CHANGE BEING MADE.

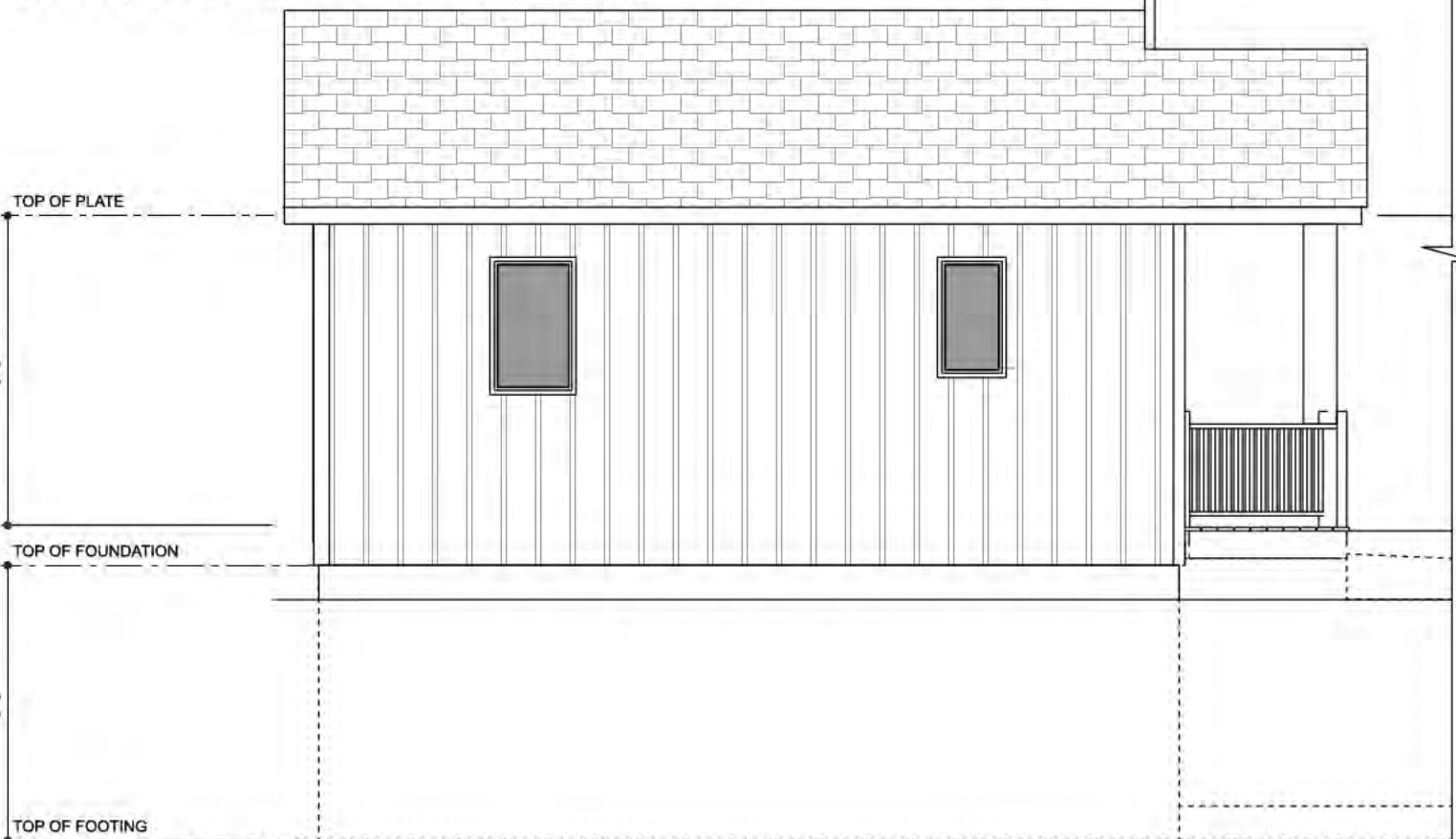
VERIFY FINAL LOCATION OF MECHANICAL EQUIPMENT WITH BORN QUALIFIED HVAC DESIGNER



CROSS SECTION A
SCALE: 3/16" = 1'-0"

8.19.1.2. VENT REQUIREMENTS

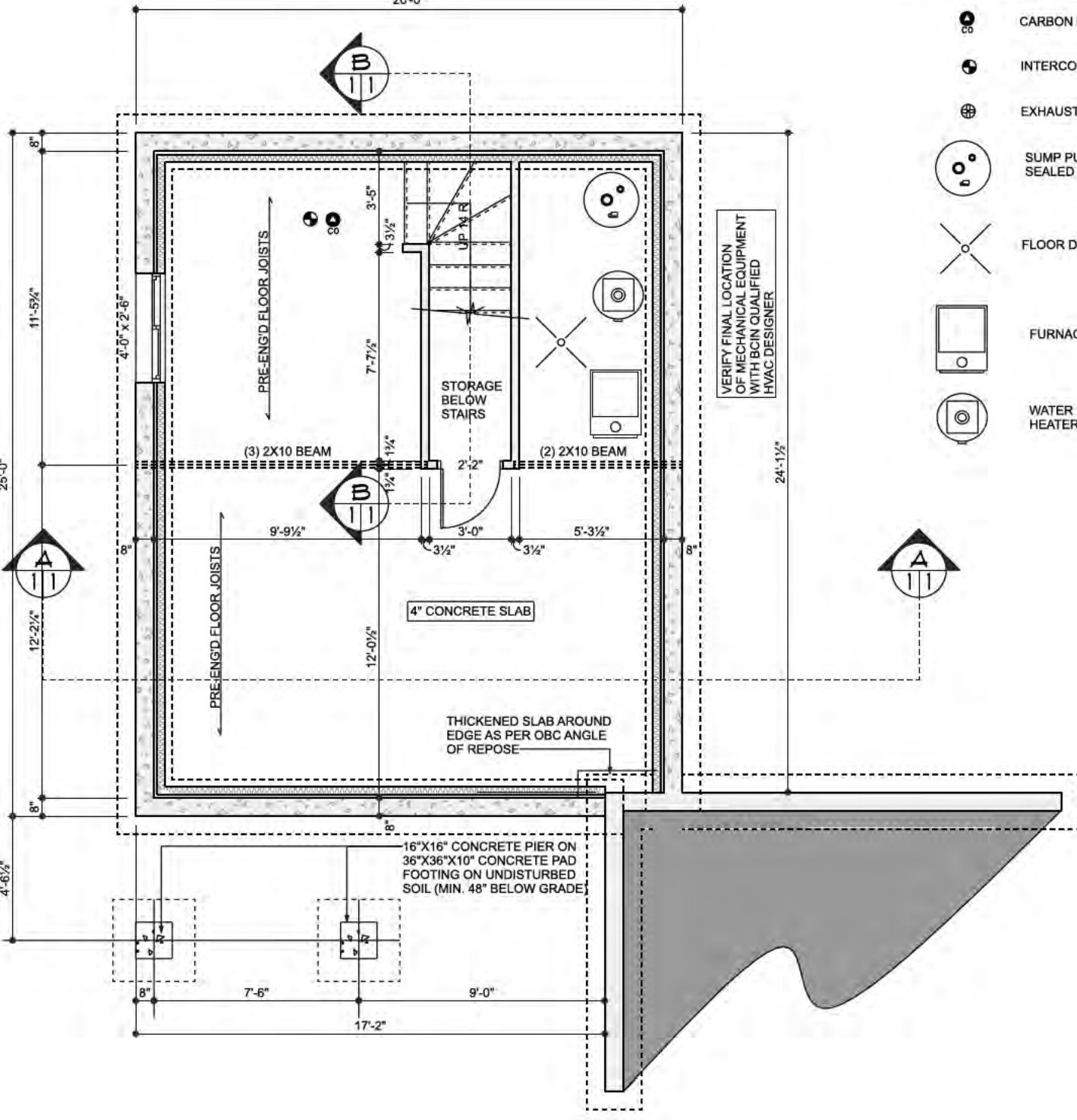
- (1) EXCEPT AS PROVIDED IN SENTENCE (2), THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
(2) WHERE THE ROOF SLOPE IS LESS THAN 1 IN 4 OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.
(3) REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE, EAFF TYPE, GABLE-END TYPE OR ANY COMBINATION OF THEM, AND SHALL BE DISTRIBUTED:
(A) UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING.
(B) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE, AND
(C) WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.
(4) EXCEPT WHERE EACH ROOF JOIST SPACE REFERRED TO IN SENTENCE (2) IS SEPARATELY VENTED, ROOF JOIST SPACES SHALL BE INTERCONNECTED BY INSTALLING PURLINS NOT LESS THAN 38 MM BY 38 MM ON THE TOP OF THE ROOF JOISTS.
(5) VENTS SHALL COMPLY WITH CAN5-A89-M, "NATURAL AIRFLOW VENTILATORS FOR BUILDINGS".



LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

BASEMENT

SCALE: 3/16" = 1'-0"

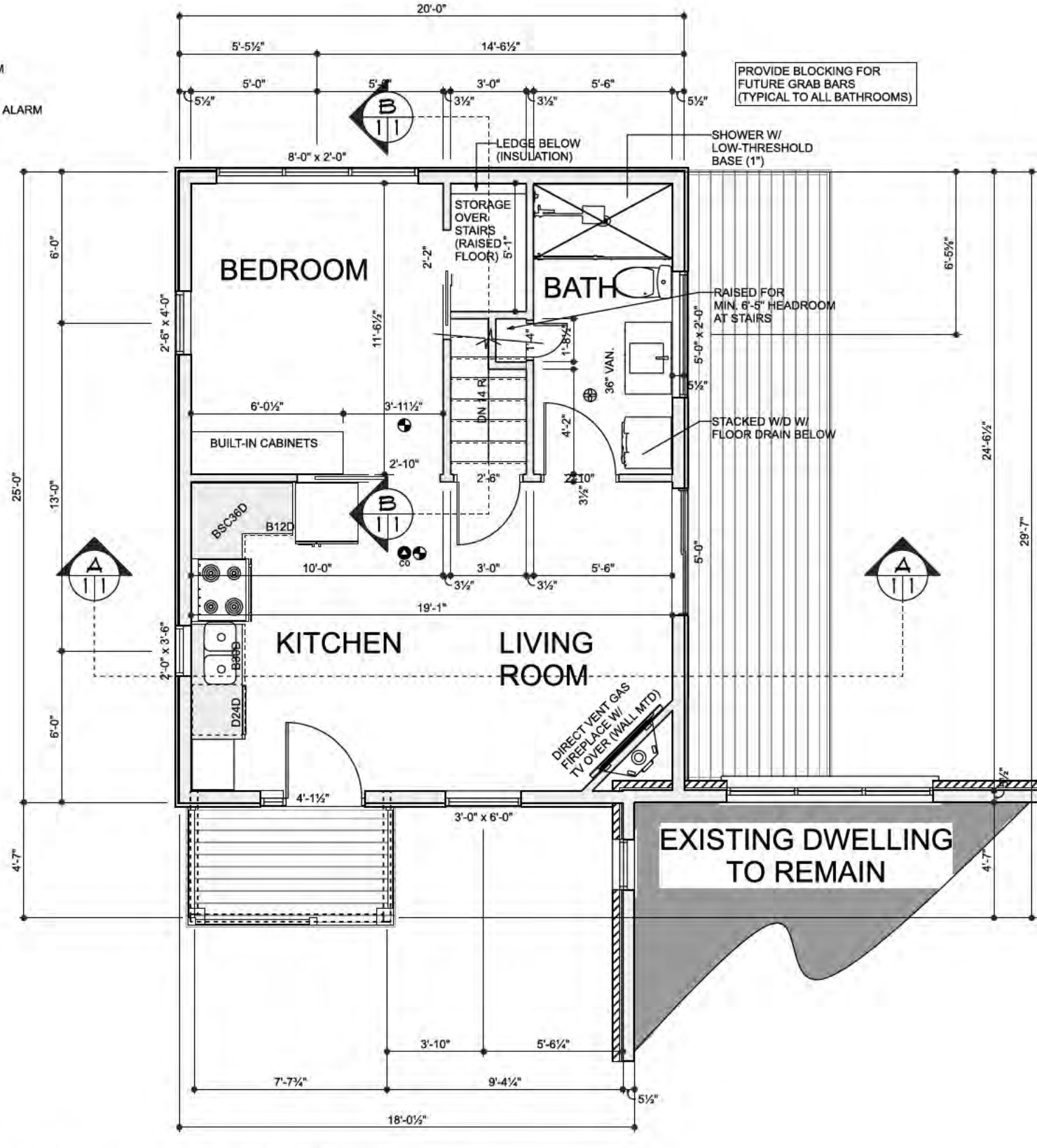


LEGEND

- CARBON MONOXIDE ALARM
- INTERCONNECTED SMOKE ALARM
- EXHAUST FAN
- SUMP PUMP W/ SEALED COVER
- FLOOR DRAIN
- FURNACE
- WATER HEATER

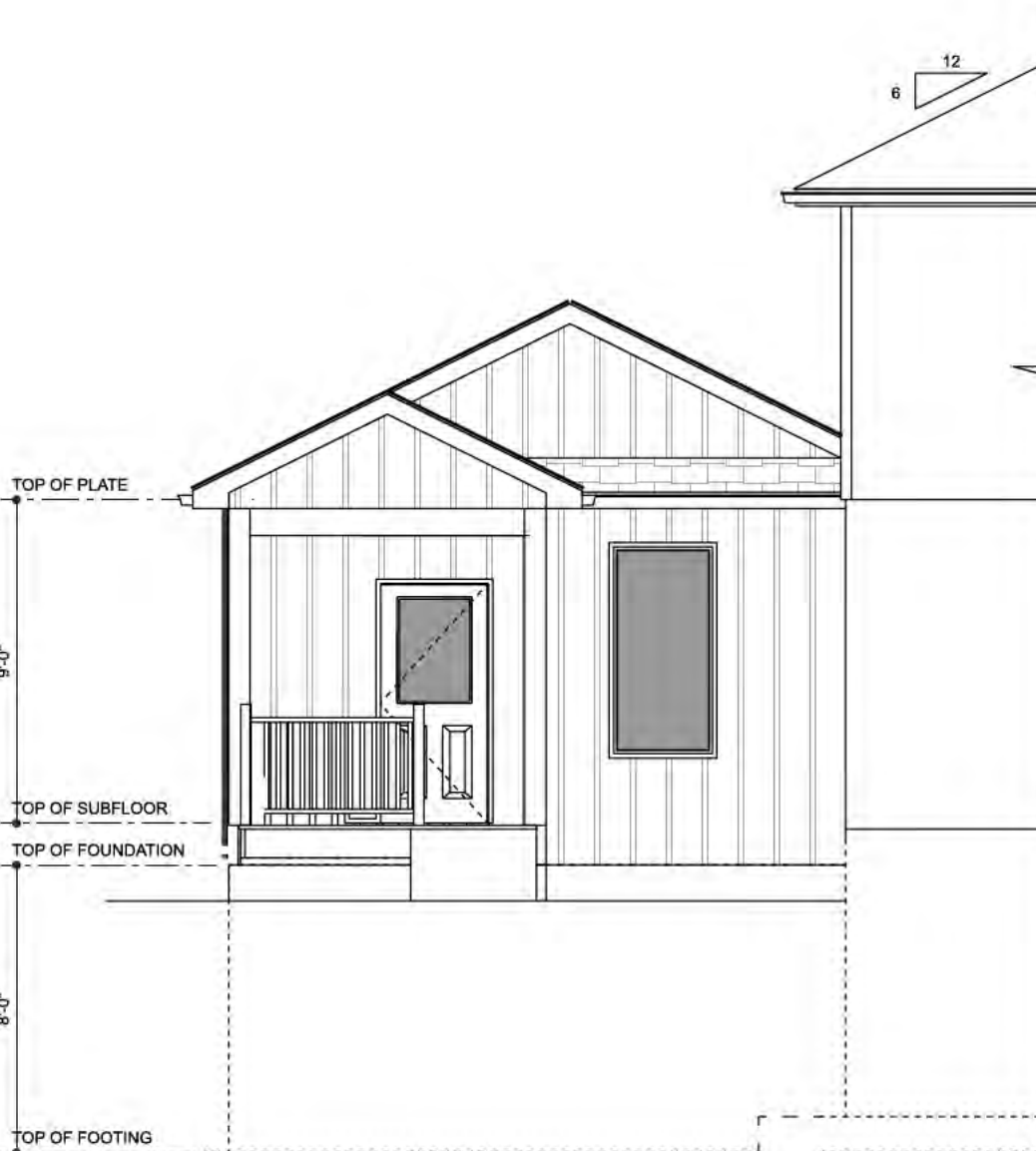
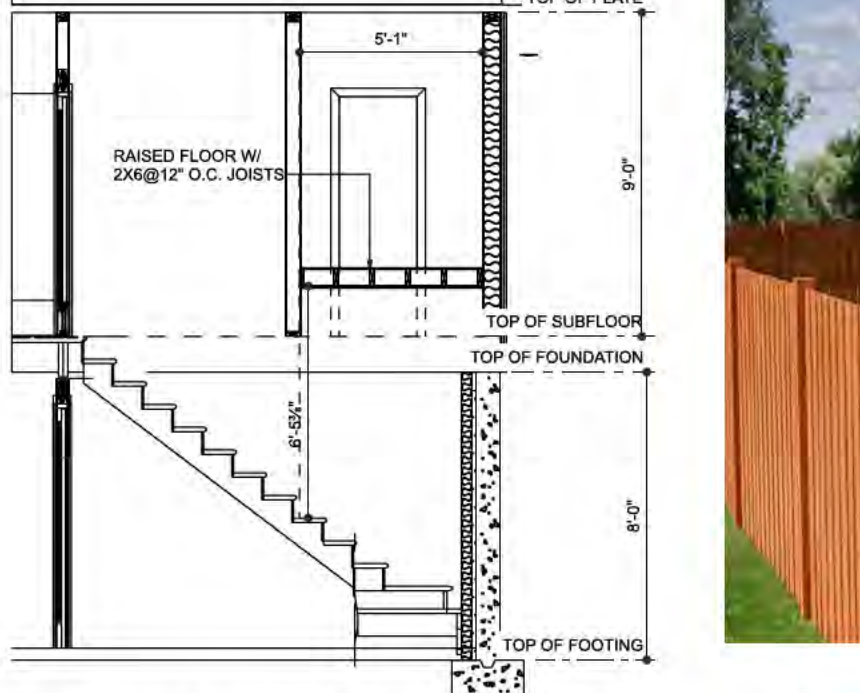
MAIN FLOOR PROPOSED

SCALE: 3/16" = 1'-0"



CROSS SECTION B

SCALE: 3/16" = 1'-0"



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"

RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



No.	Date	Description

BAYVIEW DESIGN GROUP
1808 LONDON LINE
SARNIA, ON N7W1A1
P. 519.332.8439
info@BAYVIEWDESIGN.ca
www.BAYVIEWDESIGN.ca



CLIENT / PROJECT INFORMATION:
25204 - Simmons Residence
490 Petersen Avenue
Strathroy, ON
for variance

MAIN FLOOR PLAN
May 13, 2025
As Noted
Parrison (Ted) Loxton
for variance
SCALE: 3/16" = 1'-0"
BY: [Signature]
ISSUED FOR:

PROJECT NUMBER

25204

1